

PROJECT TL
 MESA, AZ

04-24-2017
 16093_AERIAL SITE PLAN



RETENTION CALCULATIONS

DRAINAGE AREA: 26.82 AC
 RETENTION REQUIRED (10YR-2HR EVENT): ONSITE
TOTAL REQUIRED = 194,872 CU.FT.
ONSITE RETENTION:
 $VR = (C)(P/12)(A) = VR$
 $(0.90) * (2.2/12) * (26.82) * (43,560) = 192,767$ CU.FT.
 BASIN 1 180,503 CU.FT.
 BASIN 2 19,851 CU.FT.
 TOTAL PROVIDED 200,354 CU.FT.
 TOTAL REQUIRED 192,767 CU.FT.
 TOTAL EXCESS 7,587 CU.FT.

OFFSITE RETENTION:
 TOTAL PROVIDED 9,553 CU.FT.
 TOTAL REQUIRED 9,322 CU.FT.
 TOTAL EXCESS 231 CU.FT.

FUTURE PHASE THREE RETENTION:
 $VR = (C)(P/12)(A) = VR$
 $(0.50) * (2.2/12) * (80.07) * (43,560) = 319,720$ CU.FT.
 TOTAL PROVIDED 332,589 CU.FT.
 TOTAL REQUIRED 317,720 CU.FT.
 TOTAL EXCESS 14,869 CU.FT.

CONCEPTUAL GRADING, DRAINAGE AND UTILITY PLANS

FOR PROJECT T.L. SOUTH 96TH ST MESA, ARIZONA

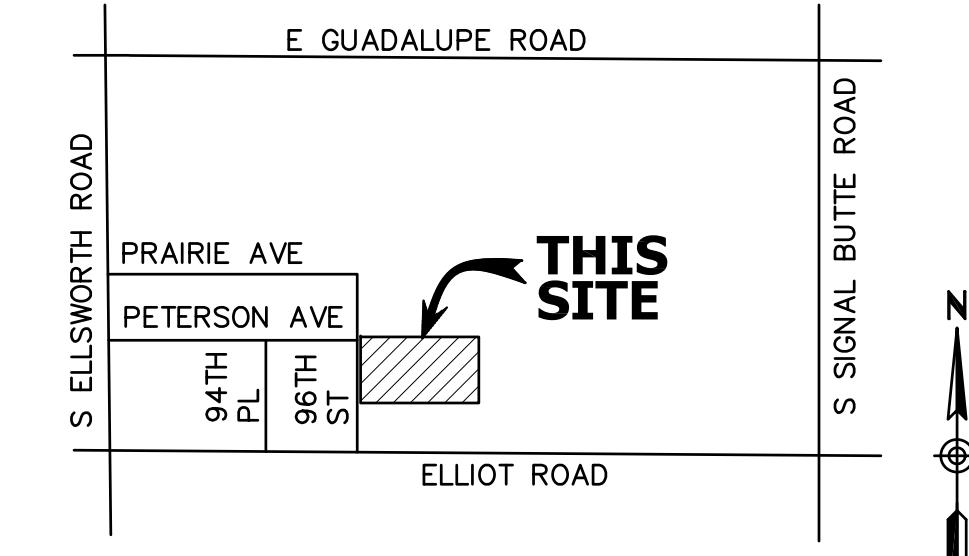
A PORTION OF THE NORTHWEST QUARTER OF SECTION 34, TOWNSHIP 2 NORTH, RANGE 6 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA.

OWNER/DEVELOPER

THE KEITH CORPORATION
 5935 CARNEGIE BLVD., SUITE 200
 CHARLOTTE, N.C. 28209
 PHONE: (704) 365-6000
 CONTACT: DEREK SALFIA

ARCHITECT

BUTLER DESIGN GROUP
 5017 E. WASHINGTON STREET, SUITE 107
 PHOENIX, ARIZONA 85034
 PHONE: (602) 957-1800
 FAX: (602) 957-7722
 CONTACT: CLAY CHIPINI



VICINITY MAP

SITE NET ACREAGE: 26.92 ACRES

APN

304-04-922

CIVIL ENGINEER

HUNTER ENGINEERING, INC.
 10450 N. 74TH STREET, SUITE #200
 SCOTTSDALE, ARIZONA 85258
 PHONE: (480) 991-3985
 FAX: (480) 991-3986
 CONTACT: JEFF NORMAN

BENCHMARK

BRASS TAG T.C. SOUTH EAST CORNER OF ELLSWORTH AND ELLIOT. ELEVATION 1405.91

BASIS OF BEARING

A BEARING OF NORTH 00°43'13" EAST ALONG THE WEST LINE OF THE SOUTHEAST QUARTER SECTION 10, AS DEPICTED ON THE FINAL PLAT OF "FIRST MESA COMMERCE PARK, PHASE 1 AMENDED" AS RECORDED IN BOOK 1176 OF MAPS, PAGE 45, OFFICIAL RECORDS OF MARICOPA COUNTY, ARIZONA.

ABBREVIATIONS

APN	ASSESSOR PARCEL NUMBER	P	PAVEMENT
BC	BACK OF CURB	P AE	PUBLIC ACCESS EASEMENT
BOT	BOTTOM	P DE	PUBLIC DRAINAGE EASEMENT
BRW	BOTTOM OF RETAINING WALL	P	PROPERTY LINE
	CONCRETE	PUE	PUBLIC UTILITY EASEMENT
	CENTERLINE	PC	PAVEMENT/CONCRETE
CF	CUBIC FEET	RCW	RECLAIMED WATER
CF S	CUBIC FEET PER SECOND	RW	RIGHT OF WAY
CY	CUBIC YARD	SD	STORM DRAIN
DE	DRAINAGE EASEMENT	SP	SQUARE FEET
DW	DRYWELL	SS	SANITARY SEWER
EA	EACH	STA	STATION
EG	EXISTING GRADE	SW	SQUARE YARDS
EL	ELEVATION	SY	TOP OF CURB
EP	EDGE OF PAVEMENT	TC	TOP OF CURB
ESMT	EASEMENT	TEL	TELEPHONE
EX	EXISTING	TF	TOP OF FOOTING
FF	FINISH FLOOR	THR	TOP OF HANDRAIL
FG	FINISH GRADE	TRW	TOP OF RETAINING WALL
FL	FLOWLINE	TW	TOP OF WALL
	GUTTER	UGFO	UNDERGROUND FIBER OPTIC
	GRADE BREAK	UGE	UNDERGROUND ELECTRIC
GR	GRATE	UGT	UNDERGROUND TELEPHONE
HW	HIGH WATER	UTS	UNDERGROUND TRAFFIC SIGNAL
IE	INVERT ELEVATION	VCP	VITRIFIED CLAY PIPE
IRR	IRRIGATION	VG	VALLEY GUTTER
LF	LINEAR FEET	VNAE	VEHICULAR NON-ACCESS EASEMENT
LIE	LANDSCAPE IRRIGATION EASEMENT	VOL	VOLUME
LP	LOW POINT	VP	VOLUME PROVIDED
MUTE	MULTI USE TRAIL EASEMENT	VR	VOLUME REQUIRED
NTS	NOT TO SCALE	W	WATER
OHE	OVERHEAD ELECTRIC	WLE	WATER LINE EASEMENT

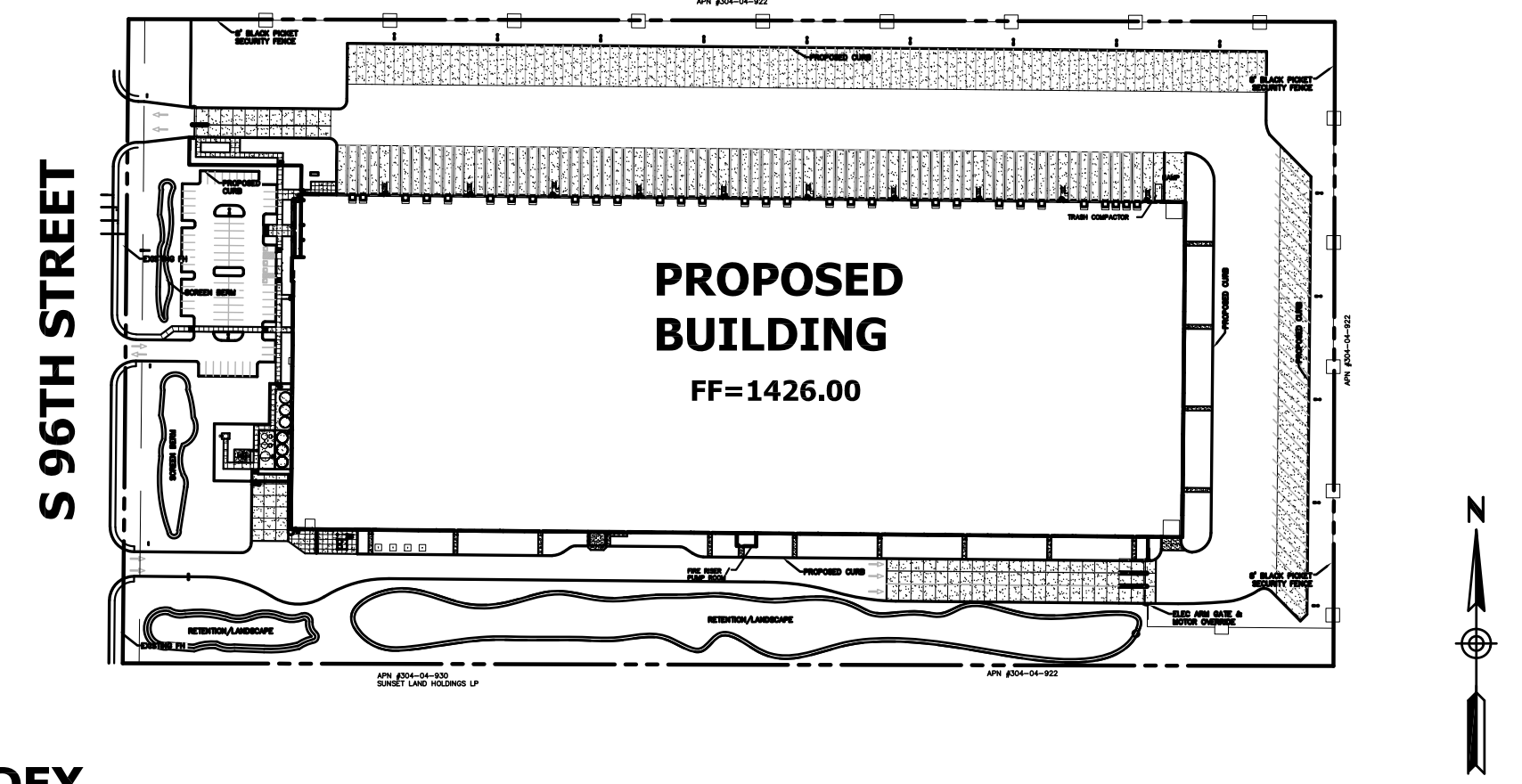
DRAINAGE STATEMENT

THE CURRENT FEMA FLOOD INSURANCE RATE MAP (FIRM) FOR THIS AREA, MAP NUMBER 04013C 2280L (EFFECTIVE REVISED DATE OCTOBER 16, 2013), DESIGNATES THE PROPERTY WITHIN FLOOD HAZARD ZONE X.

ZONE: X IS DEFINED AS AREAS OUTSIDE THE 1% ANNUAL CHANCE FLOODPLAIN, AREAS OF 1% ANNUAL CHANCE SHEET FLOW FLOODING WHERE THE AVERAGE DEPTHS ARE LESS THAN 1 FOOT, AREAS OF 1% ANNUAL CHANCE STREAM FLOODING WHERE THE CONTRIBUTING DRAINAGE AREA IS LESS THAN 1 SQUARE MILE, OR AREAS PROTECTED FROM THE 1% ANNUAL CHANCE FLOOD BY LEVEES. NO BASE FLOOD ELEVATIONS OR DEPTHS ARE SHOWN WITHIN THIS ZONE. INSURANCE PURCHASE IS NOT REQUIRED IN THESE ZONES.

LEGAL DESCRIPTION

A PORTION OF LOT 8, FIRST MESA COMMERCE PARK, PHASE 1 AMENDED AS RECORDED IN BOOK 1167 OF MAPS, PAGE 45 OFFICIAL RECORDS OF MARICOPA COUNTY RECORDER AND A PORTION OF A PARCEL OF LAND RECORDED IN DEED NO. 2013-1008915, BEING A PORTION OF SOUTHEAST QUARTER OF SECTION 10, TOWNSHIP 1 SOUTH, RANGE 7 EAST OF THE SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA. COMMENCING AT THE SOUTH QUARTER CORNER OF SAID SECTION 10, BEING A FOUND BRASS CAP IN HAND HOLE, FROM WHICH THE SOUTHEAST CORNER, BEING A BRASS CAP FLUSH, BEARS SOUTH 89°30'04" EAST, FOR A DISTANCE OF 2629.04 FEET; THENCE NORTH 00°30'52" EAST, ALONG THE MONUMENT LINE OF SOUTH 96TH STREET, FOR A DISTANCE OF 683.85 FEET; THENCE SOUTH 89°52'12" EAST, FOR A DISTANCE OF 40.00 FEET, TO A POINT ON THE EAST RIGHT OF WAY LINE OF SAID 96TH STREET AND THE POINT OF BEGINNING; THENCE NORTH 00°30'52" EAST, ALONG SAID EAST RIGHT OF WAY LINE FOR A DISTANCE OF 719.09 FEET; THENCE NORTH 00°30'55" EAST, CONTINUING ALONG SAID EAST RIGHT OF WAY LINE, FOR A DISTANCE OF 70.93 FEET; THENCE SOUTH 89°52'12" EAST, FOR A DISTANCE OF 1479.00 FEET; THENCE SOUTH 00°07'48" WEST, FOR A DISTANCE OF 790.00 FEET; THENCE NORTH 89°52'12" WEST, FOR A DISTANCE OF 1484.30 FEET, TO THE POINT OF BEGINNING. SAID PARCEL CONTAINS 26.871 ACRES (1,170,505 S.F.) MOR OR LESS.



SCALE: NTS

CIVIL SHEET

MAP INDEX

SHEET INDEX

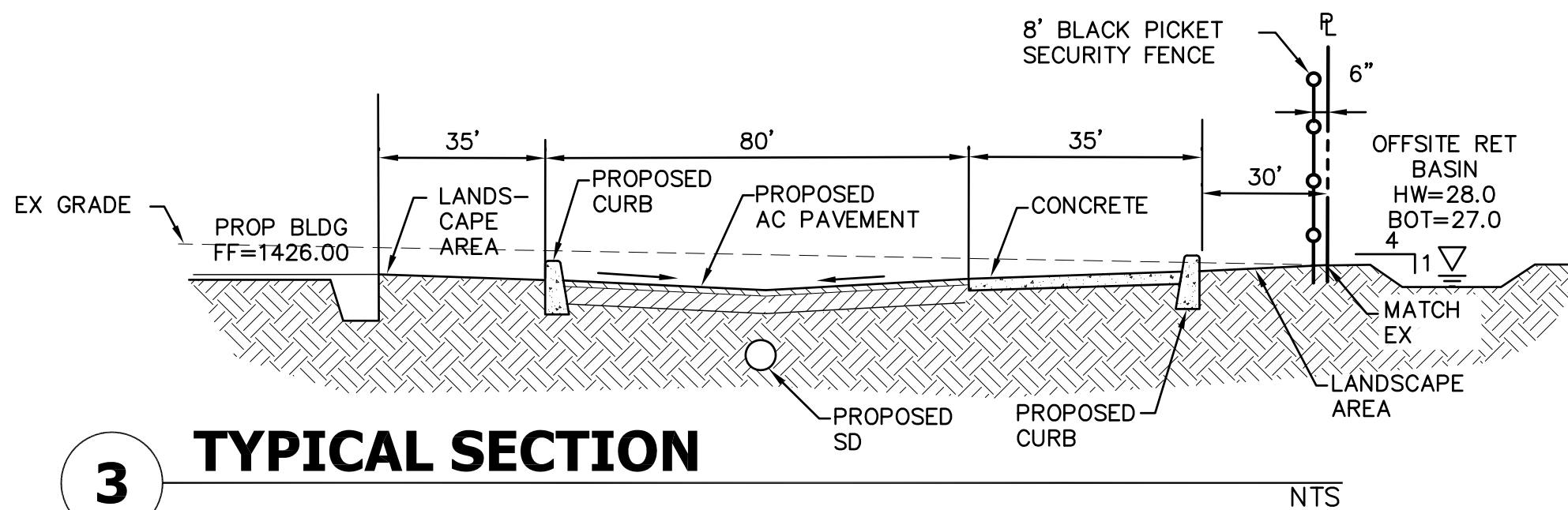
COVER SHEETC1
CONCEPTUAL GRADING & DRAINAGE PLANSC2
CONCEPTUAL UTILITY PLANSC3

EXISTING LEGEND

RIGHT OF WAY	---
PROPERTY LINE	---
CENTERLINE	---
EASEMENT LINE	---
WATER LINE	---
WATER LINE	---
SANITARY SEWER LINE	---
SPOT ELEVATION	+ 1349.16
FIRE HYDRANT	⊙
WATER VALVE	⊙
IRRIGATION CONTROL VALVE	⊙
SANITARY SEWER MANHOLE	⊙
SANITARY SEWER CLEANOUT SIGN	⊙
LIGHT POLE	⊙
ELECTRICAL RISER	⊙
ELECTRICAL CABINET	⊙

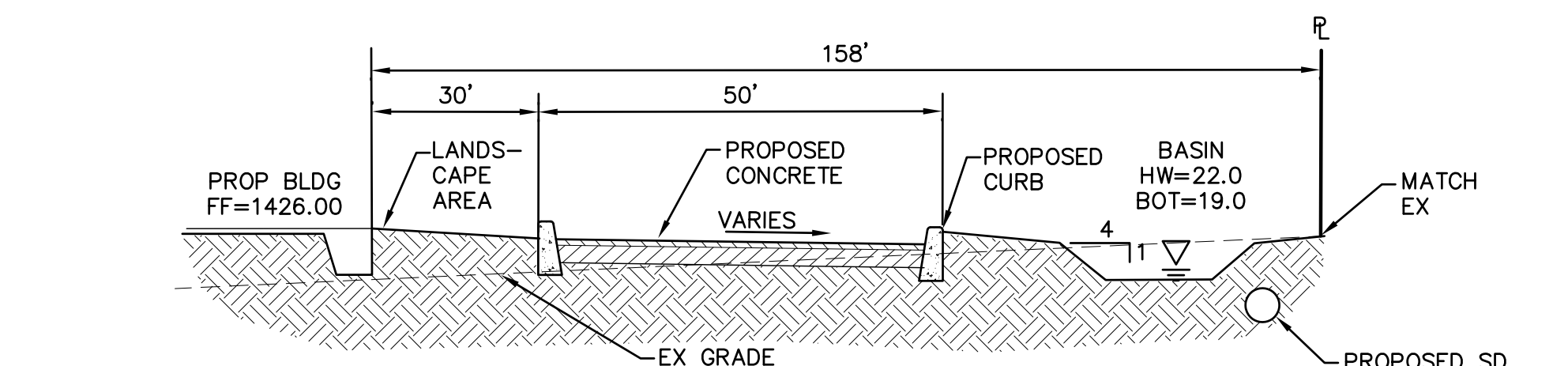
PROPOSED LEGEND

DIRECTION OF SLOPE	←
SEWER LINE	---
WATER LINE	---
FIRE LINE	---
EASEMENT	---
SAWCUT	---
GRADE BREAK	⬢
CATCH BASIN	⊙
DRYWELL	⊙
SPOT ELEVATION	90.50P
SECTION CALLOUT	⊙
FLOW LINE	→
BACKFLOW PREVENTOR	⊙
TAPPING SLEEVE & VALVE	⊙
SANITARY SEWER CLEANOUT	⊙



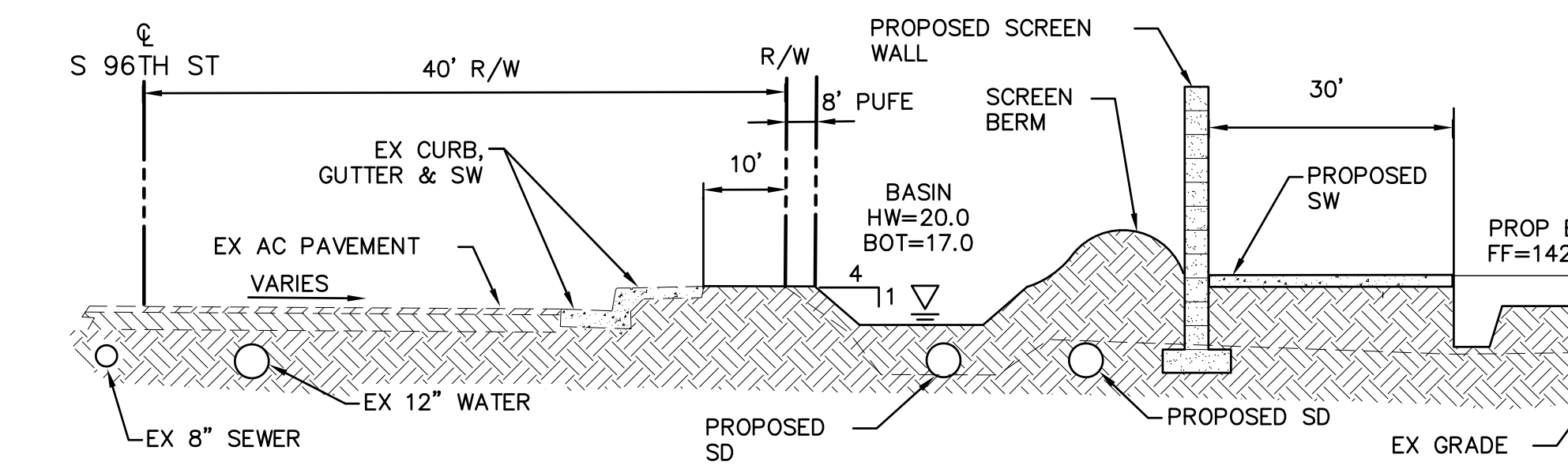
3 TYPICAL SECTION

NTS



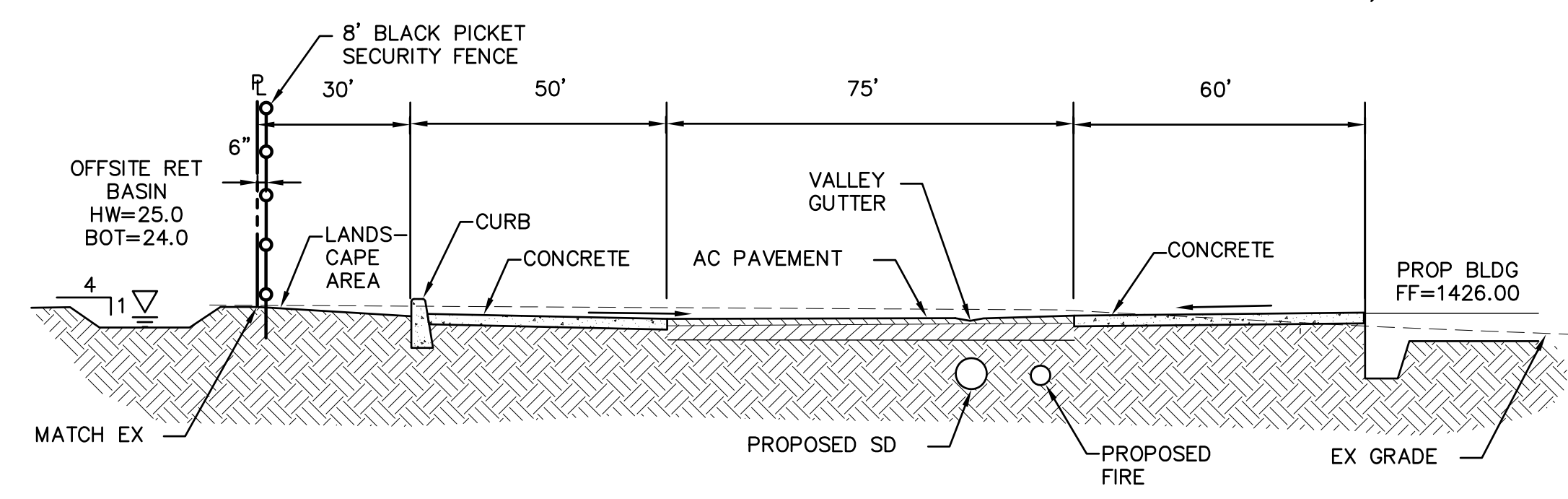
4 TYPICAL SECTION

NTS



1 TYPICAL SECTION

NTS



2 TYPICAL SECTION

NTS

NO.	DATE	REVISION	BY

DESIGN BY: JLN
 DRAWN BY: LEW
 CHECKED BY: DLC

HUNTER ENGINEERING
 10450 NORTH 74TH STREET
 SUITE 200
 SCOTTSDALE, AZ 85258
 T 480 991 3985
 F 480 991 3986

PRELIMINARY PLANS
 NOT FOR CONSTRUCTION

CONCEPTUAL GRADING & UTILITY PLAN FOR PROJECT T.L. SOUTH 96TH STREET MESA, ARIZONA

CONTACT ARIZONA 811 AT LEAST 2 FULL WORKING DAYS BEFORE YOU BEGIN EXCAVATION
ARIZONA811
 CALL 811 OR CLICK ARIZONA811.COM

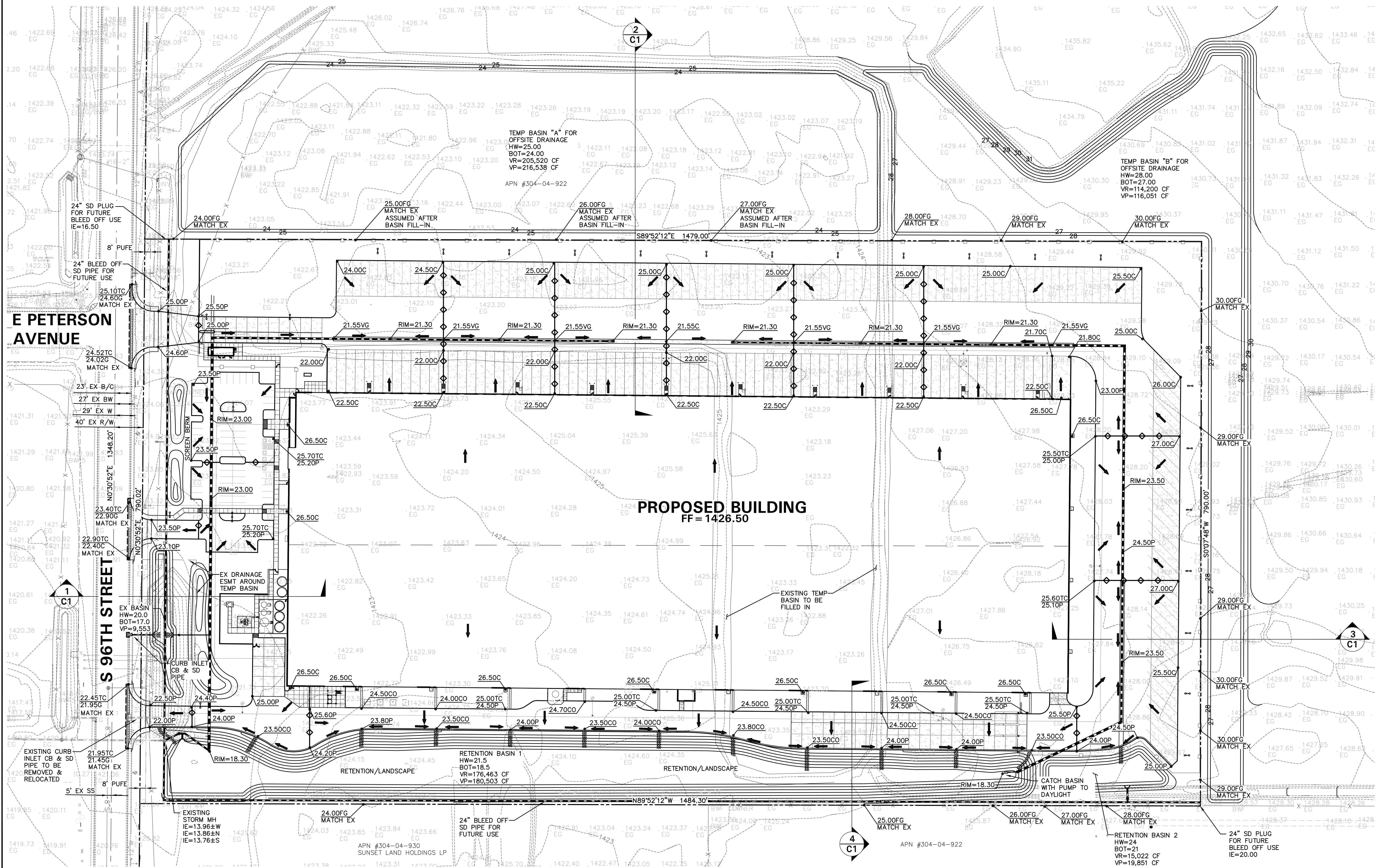
THESE PLANS ARE NOT APPROVED FOR CONSTRUCTION WITHOUT AN APPROVED SIGNATURE FROM THE GOVERNING MUNICIPALITY.

HE JOB NO.: PRTL001

SCALE: NTS

SHEET: C1

CONCEPTUAL GRADING & DRAINAGE PLAN



NO.	DATE	REVISION	BY

DESIGN BY: JIN
DRAWN BY: LEW
CHECKED BY: DLC

HUNTER
ENGINEERING
10450 NORTH 74TH STREET, SUITE 200
SCOTTSDALE, AZ 85258
T 480 991 3985
F 480 991 3986

CIVIL AND SURVEY

PRELIMINARY PLANS
NOT FOR CONSTRUCTION

CONCEPTUAL GRADING AND DRAINAGE
FOR
PROJECT T.L.
SOUTH 96TH STREET
MESA, ARIZONA



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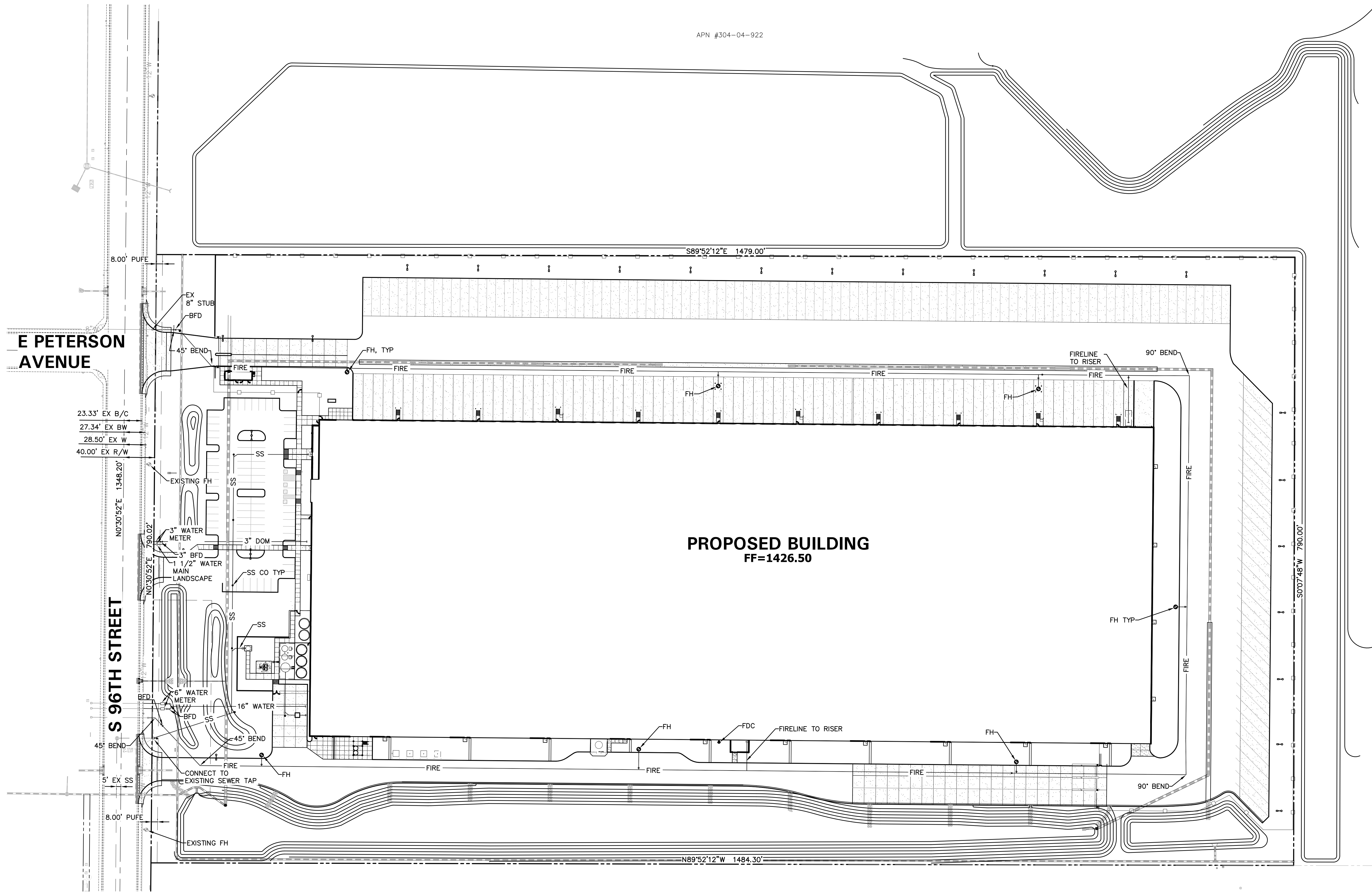
HE JOB NO.: PRTL001

SCALE 1"=60'

SHEET **C2**

CONCEPTUAL UTILITY PLAN

APN #304-04-922



PROPOSED BUILDING
FF=1426.50

NO.	DATE	REVISION	BY

DESIGN BY: JLN
DRAWN BY: LEW
CHECKED BY: DLC

HUNTER
ENGINEERING
CIVIL AND SURVEY
10450 NORTH 74TH STREET, SUITE 200
SCOTTSDALE, AZ 85258
T 480 991 3985
F 480 991 3986

PRELIMINARY
PLANS
NOT FOR
CONSTRUCTION

CONCEPTUAL UTILITY PLAN
FOR
PROJECT T.L.
SOUTH 96TH STREET
MESA, ARIZONA



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HE JOB NO.:
PRTL001

SCALE
1"=60'

SHEET
C3

CITY OF MESA PLANT DATA

96TH ST. FRONTAGE (700 L.F.)	REQUIRED	PROVIDED	FOUNDATION BASE (1,340 L.F.)	REQUIRED	PROVIDED
1 TREE PER 25 L.F. OF STREET FRONTAGE	28 TREES	30 TREES	1 TREE PER 50 L.F. OF EXTERIOR BUILDING WALL	27 TREES	30 TREES
PROPERTY PERIMETER (3748 L.F.)	REQUIRED	PROVIDED			
3 NON DECIDUOUS TREE PER 100 L.F. OF ADJACENT PROPERTY LINE	113	118 TREES			
TREE SIZE	REQUIRED	PROVIDED			
36" BOX (25% MIN.)	36 TREES	36 TREES			
24" BOX (50% MIN.)	71 TREES	201 TREES			

LANDSCAPE DATA

LANDSCAPE AREA	320,191 S.F.
LANDSCAPE COVERAGE	50%

PLANT LEGEND

SYMBOL	SCIENTIFIC NAME	COMMON NAME	SIZE	QTY
TREES				
	Acacia aneura	Mulga	24" Box	12
	Acacia farnesiana	Sweet Acacia	24" Box 36" Box	1 21
	Acacia salicina	Willow Acacia	24" Box	60
	Chilopsis linearis	Desert Willow	24" Box	21
	Caesalpinia cacalaco	Cascalote	24" Box	5
	Olinya tesota	Ironwood	36" Box	3
	Parkinsonia praecox	Palo Brea	24" Box	59
	Parkinsonia x 'Desert Museum'	Desert Museum Palo Verde	24" Box 36" Box	8 4
	Prosopis hybrid 'Phoenix'	Thornless Mesquite	24" Box 36" Box	35 8

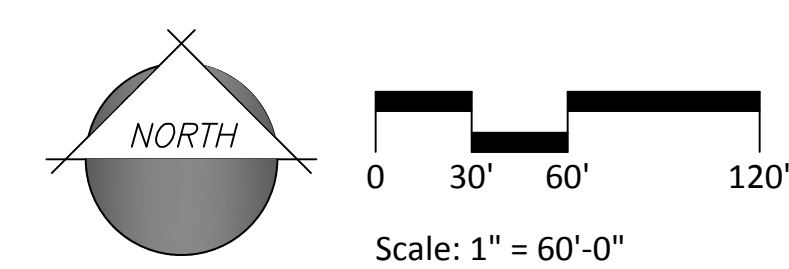
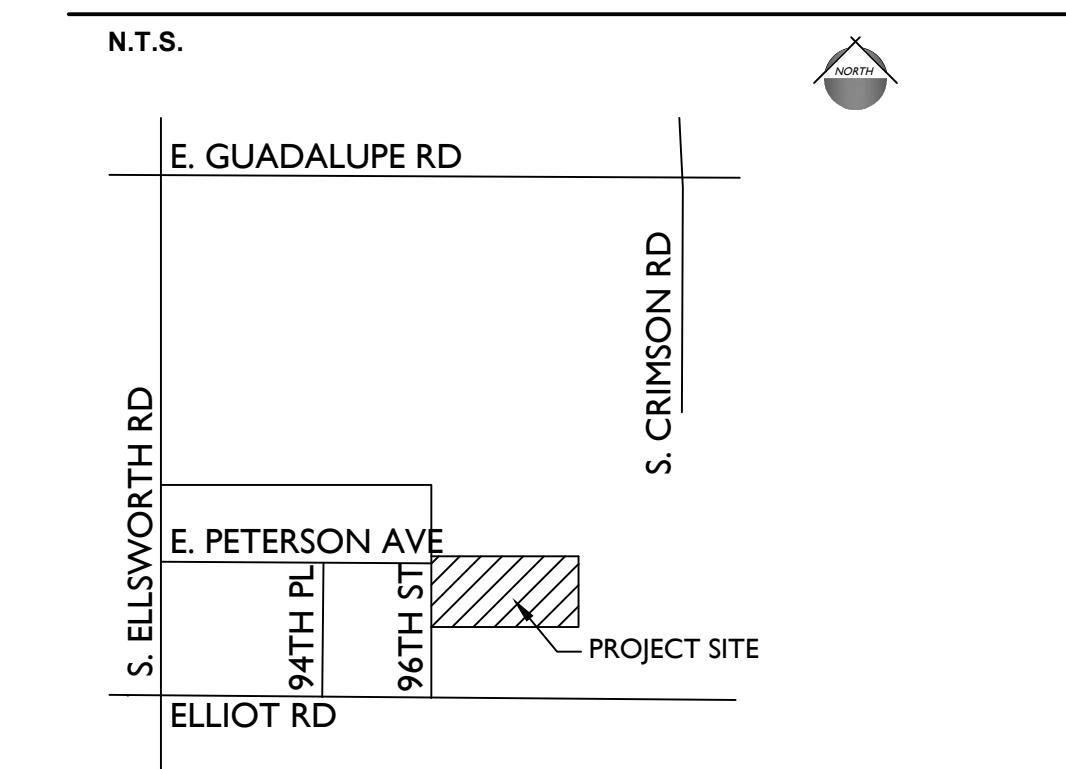
SHRUBS/ACCENTS	COMMON NAME	SIZE	QTY
	Agave desertiana	Smooth Agave	5 Gal -
	Asclepias subulata	Desert Milkweed	5 Gal -
	Bougainvillea 'La Jolla'	'La Jolla' Bougainvillea	5 Gal -
	Calliandra eriophylla	Pink Fairy Duster	5 Gal -
	Dasyliion acrotrichum	Green Desert Spoon	5 Gal -
	Eremophila maculata 'Valentine'	'Valentine' Emu Bush	5 Gal -
	Hesperaloe parviflora 'Brakelights'	Brakelights Red Yucca	5 Gal -
	Leucophyllum langmaniae 'Rio Bravo'	Rio Bravo Sage	5 Gal -
	Leucophyllum frutescens	Texas Sage	5 Gal -
	Muhlenbergia rigens	Deer Grass	5 Gal -
	Ruellia pennisiaris	Desert Ruellia	5 Gal -
	Simmondsia chinensis 'Vista'	Compact Jojoba	5 Gal -

GROUNDCOVERS	COMMON NAME	SIZE	QTY
	Eremophila prostrata 'Outback Sunrise'	'Outback Sunrise'	1 Gal -
	Lantana montevidensis	Trailing Purple Lantana	1 Gal -
	Lantana x 'New Gold'	New Gold Lantana	1 Gal -

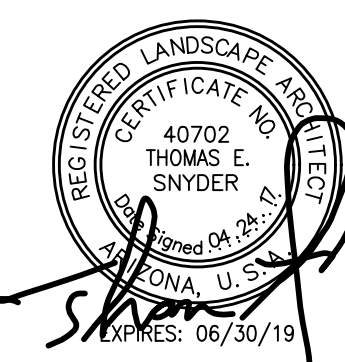
MATERIALS

	1" Screened Table Mesa Brown 2" Min. Depth
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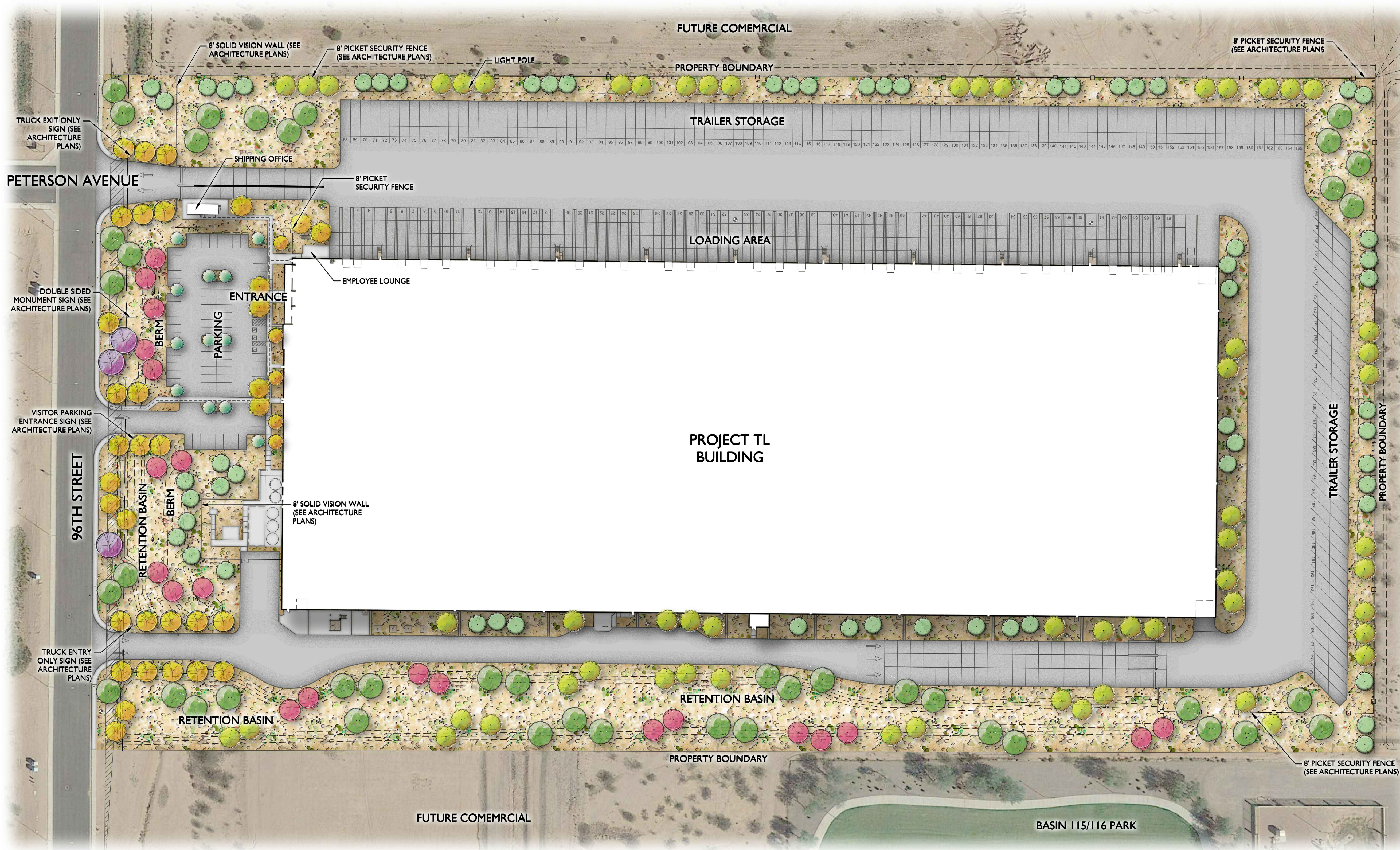
VICINITY MAP



Butler Design Group, Inc
architects & planners



L-1.01
04/24/2017



PROPOSED SITE DATA

PROJECT ADDRESS:
SOUTHEAST CORNER OF THE INTERSECTION OF PETERSON AVENUE AND 96TH STREET

GOVERNING CODES:
2006 INTERNATIONAL BUILDING CODE
2006 INTERNATIONAL MECHANICAL CODE
2008 INTERNATIONAL PLUMBING CODE
2005 NATIONAL ELECTRICAL CODE
2006 INTERNATIONAL FIRE CODE
2009 INTERNATIONAL ENERGY CONSERVATION CODE

GROSS SITE AREA: 1,202,105 S.F. (27.6 AC.)
NET SITE AREA: 1,170,504 S.F. (26.87 AC.)
WAREHOUSE: 450,183 S.F.
SHIPPING OFFICE: 432 S.F.
COVERAGE: 450,615 S.F. / 1,170,504 S.F. = 38.5%

LANDSCAPE AREA: 320,191 S.F.

LANDSCAPE COVERAGE: 50%

SITE ZONING: C2

BUILDING OCCUPANCY:
B- OFFICE
F1- FACTORY
S1- STORAGE

CONSTRUCTION TYPE: II-B

PROPOSED BUILDING HEIGHT: 49 FT. (T.O.P.)

BUILDING AREAS:
F-1 179,878 S.F.
S-1 263,511 S.F.
B 6,408 S.F.
FIRE RISER 386 S.F.
TOTAL BLDG. AREA 450,183 S.F.

SHIPPING OFFICE: 432 S.F.

OCCUPANT LOAD:
F-1 179,878 S.F./100 = 1,799 OCC.
S-1 263,897 S.F./500 = 528 OCC.
B 6,408 S.F./100 = 65 OCC.
TOTAL OCCUPANT LOAD 2,392 OCC.

PARKING:	REQUIRED	PROVIDED
OFFICE AREA & S.O. (1/300)	: 22 SPACES	
INDUSTRIAL (1/600)	: 300 SPACES	
WAREHOUSE (1/1,000 FOR 0 - 150,000) (1/2,000 FOR 150,001 - 500,000) (1/2,500 OVER 500,001)	: 207 SPACES	
TOTAL PARKING - REDUCTION APPROVED PER VARIANCE	: 529 SPACES	: 76 SPACES
TRAILER PARKING		: 168 SPACES
ACCESSIBLE PARKING (2% OF SUPPLIED PARKING STALLS)	: 11 SPACES	: 4 SPACES

DEVELOPER:
THE KEITH CORPORATION
5935 CARNEGIE BLVD.
SUITE 200
CHARLOTTE, N.C. 28209
PH: 704-365-6000
CONTACT: DEREK SALFIA
EMAIL: DSALFIA@THEKEITHCORP.COM

ARCHITECT:
BUTLER DESIGN GROUP
5017 E WASHINGTON ST.
SUITE 107
PHOENIX, AZ 85034
PH: 602-957-1800
CONTACT: CLAY CHIAPPINI
EMAIL: CLAYC@BUTLERDESIGNGROUP.COM

LEGAL DESCRIPTION

A PORTION OF LOT 8, FIRST MESA COMMERCE PARK, PHASE 1 AMENDED AS RECORDED IN BOOK 1167 OF MAPS, PAGE 45 OFFICIAL RECORDS OF MARICOPA COUNTY RECORDER AND A PORTION OF A PARCEL OF LAND RECORDED IN DEED NO. 2013-1008915, BEING A PORTION OF SOUTHEAST QUARTER OF SECTION 10, TOWNSHIP 1 SOUTH, RANGE 7 EAST OF THE SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA.

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THENCE NORTH 00°30'52" EAST, ALONG THE MONUMENT LINE OF SOUTH 96TH STREET, FOR A DISTANCE OF 683.85 FEET;

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THENCE NORTH 00°30'52" EAST, ALONG SAID EAST RIGHT OF WAY LINE, FOR A DISTANCE OF 719.09 FEET;

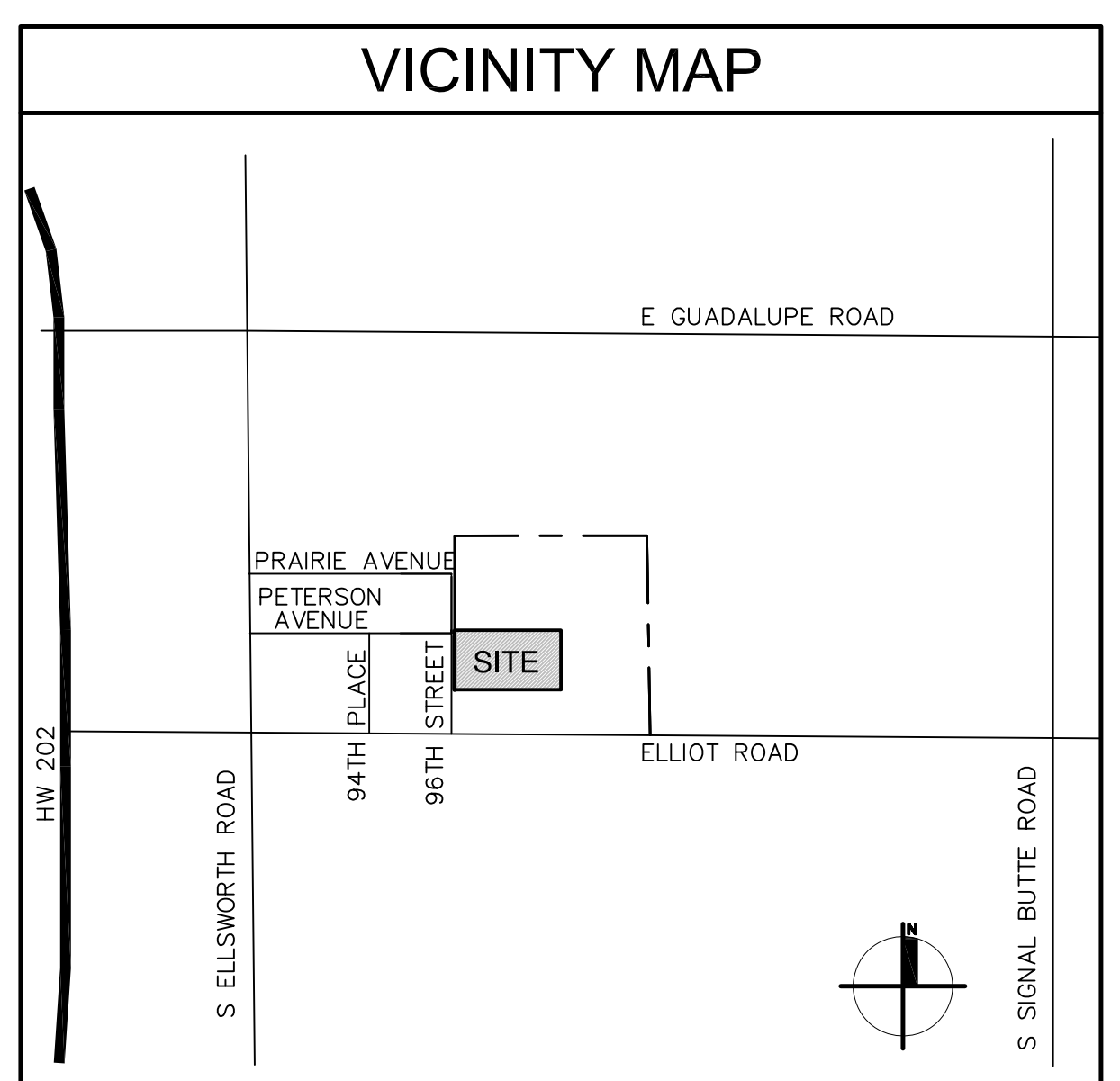
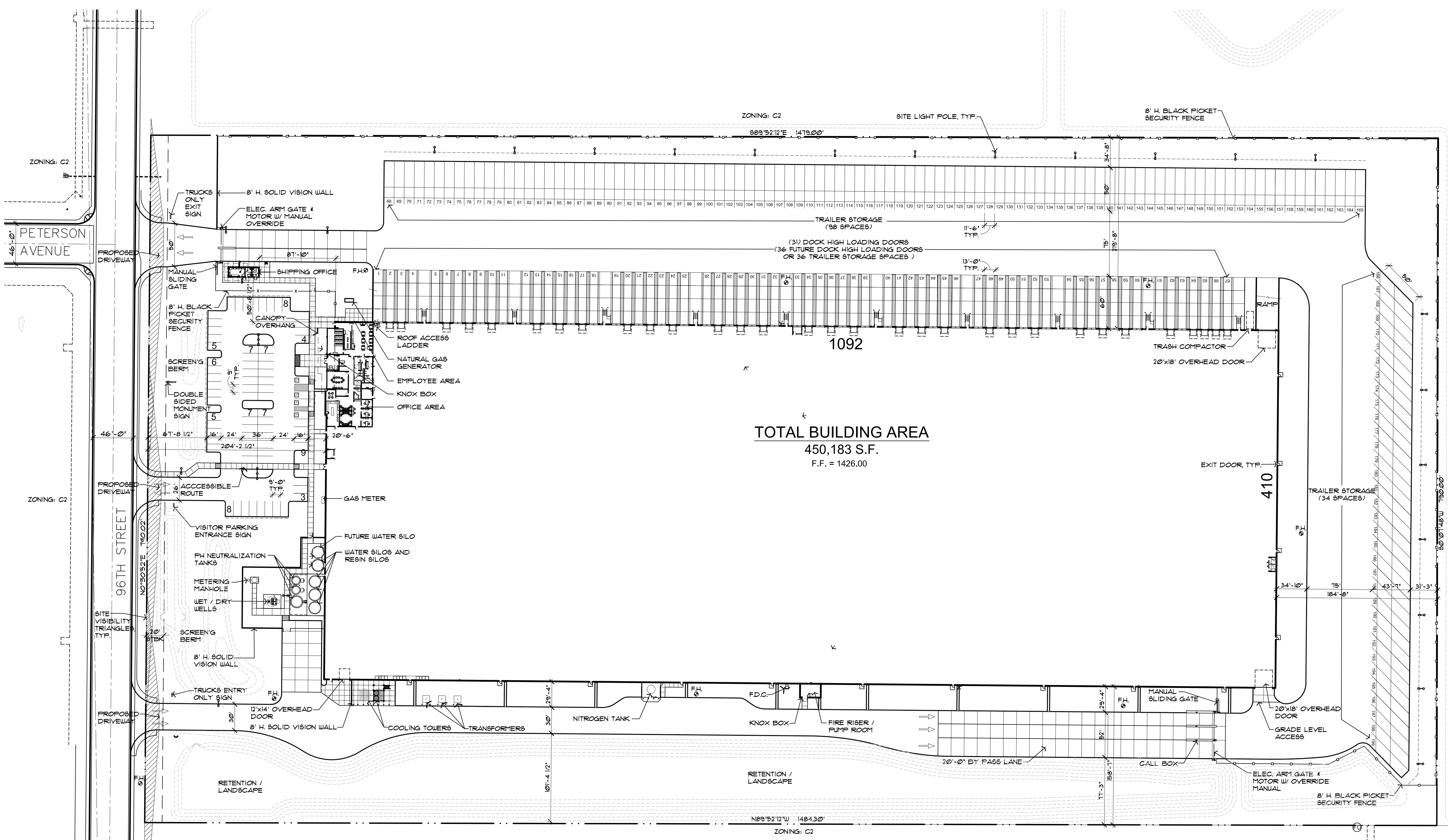
THENCE NORTH 00°30'55" EAST, CONTINUING ALONG SAID EAST RIGHT OF WAY LINE, FOR A DISTANCE OF 70.93 FEET;

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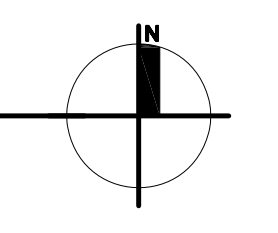
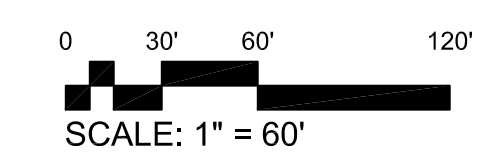
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THENCE NORTH 89°52'12" WEST, FOR A DISTANCE OF 1484.30 FEET, TO THE POINT OF BEGINNING

SAID PARCEL CONTAINS 26.871 ACRES (1,170,505 S.F.) MORE OR LESS



SITE PLAN
SCALE: 1" = 60'-0"



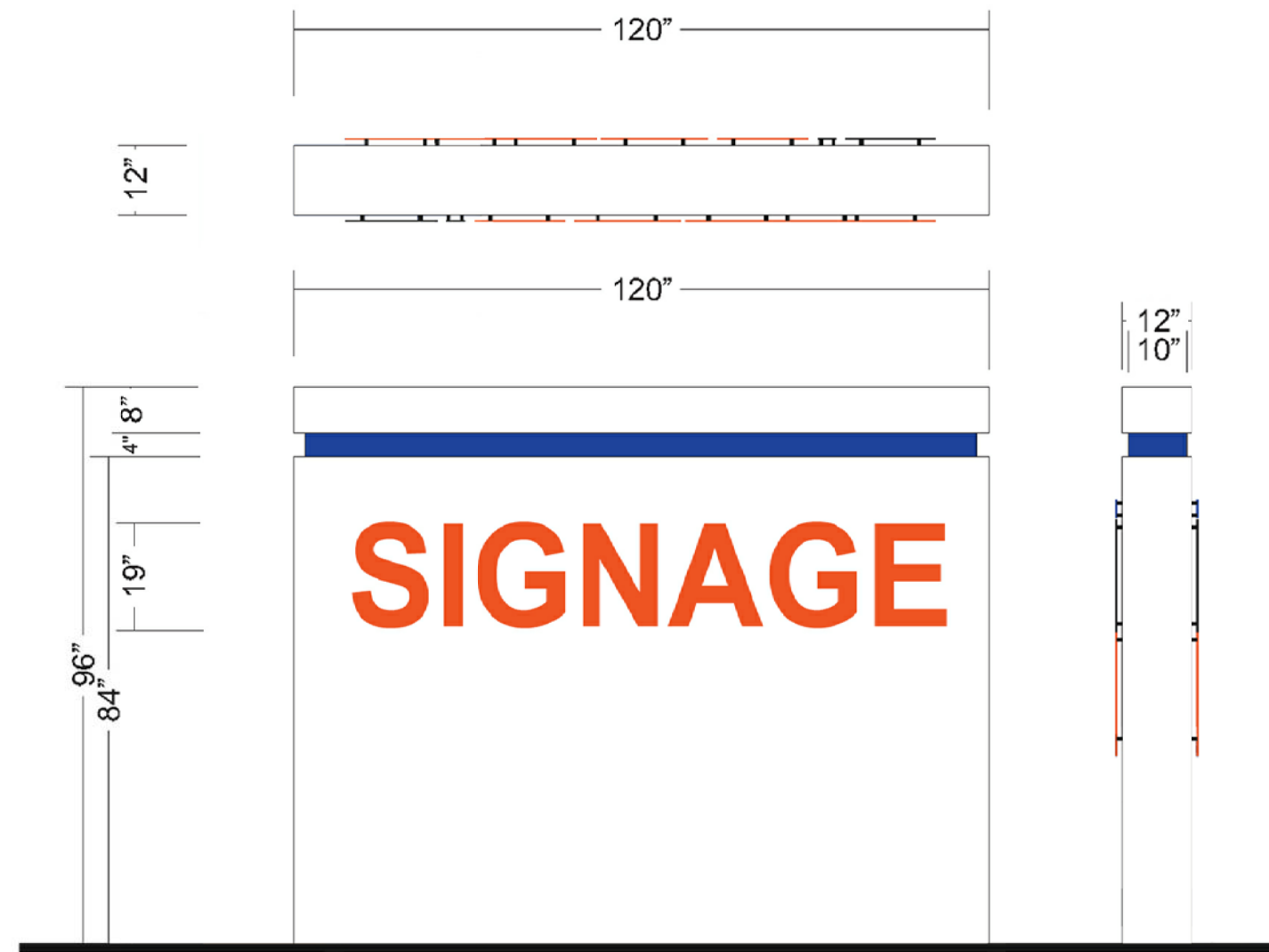
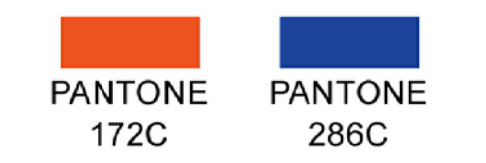
PROJECT TL
MESA, AZ



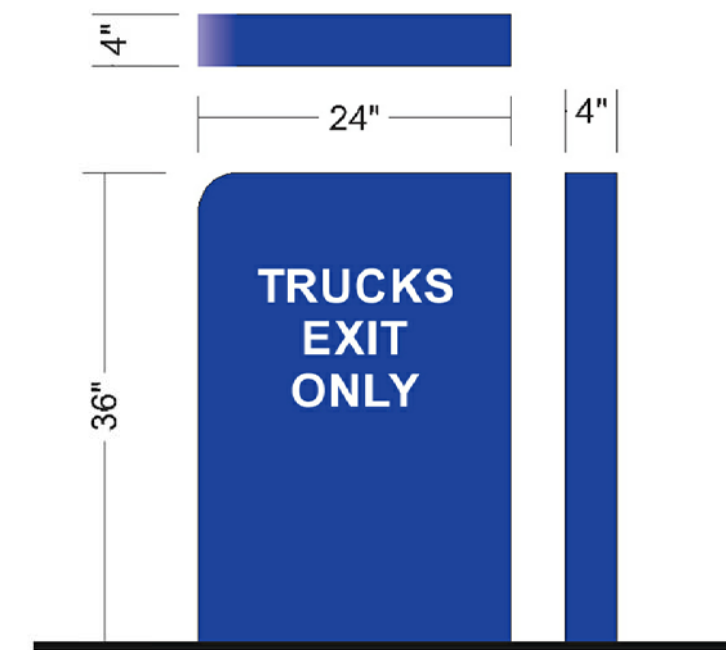
04-24-2017
16093_SITE PLAN

EXPIRES: 3/31/2020

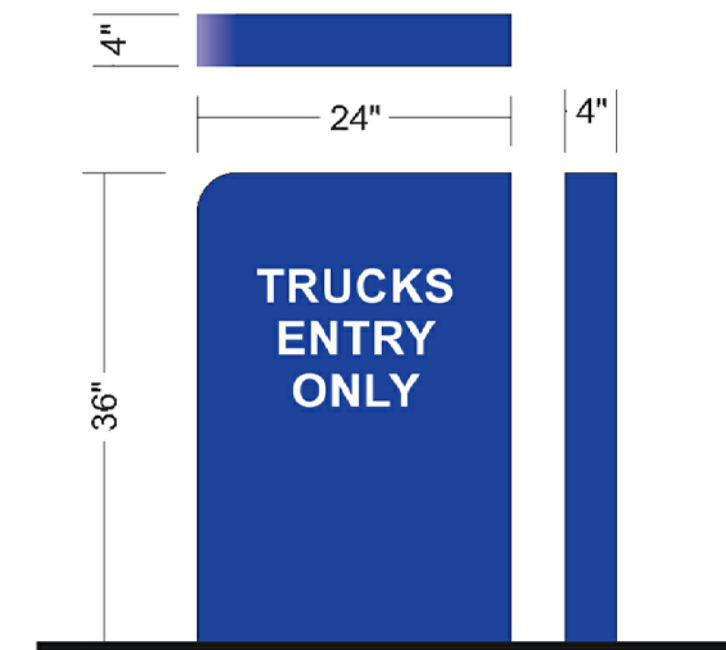
COLOR CHART



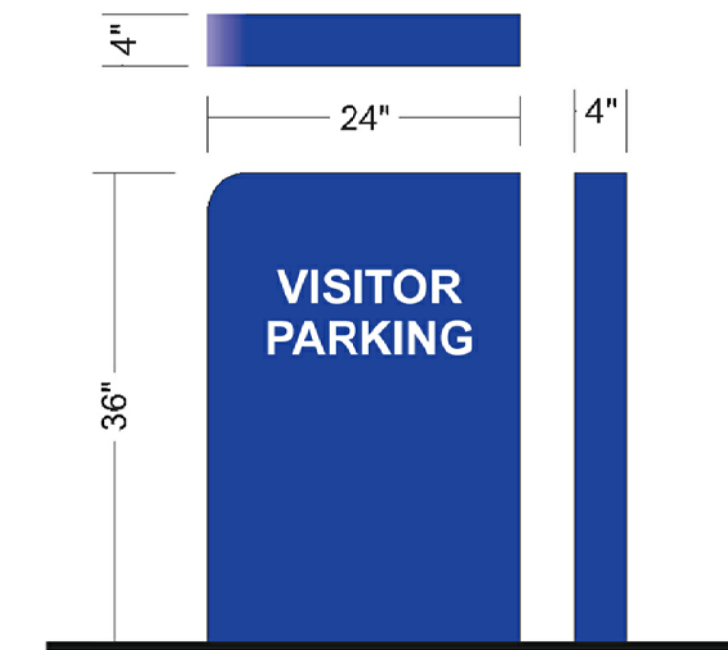
- "SIGNAGE" IS NON ILLUMINATED 1/4" THICK ALUMINUM PLATE PIN MOUNTED TO CABINET FACE.
 - TRADEMARK AND "BOTTLING, LLC" IS VINYL COPY; WATER DROP DETAIL IS VINYL COPY.
 - ADDRESS AND DIRECTIONAL INFORMATION IS REFLECTIVE WHITY VINYL.



SINGLE SIDED DIRECTIONAL SIGN WITH WHITE REFLECTIVE VINYL



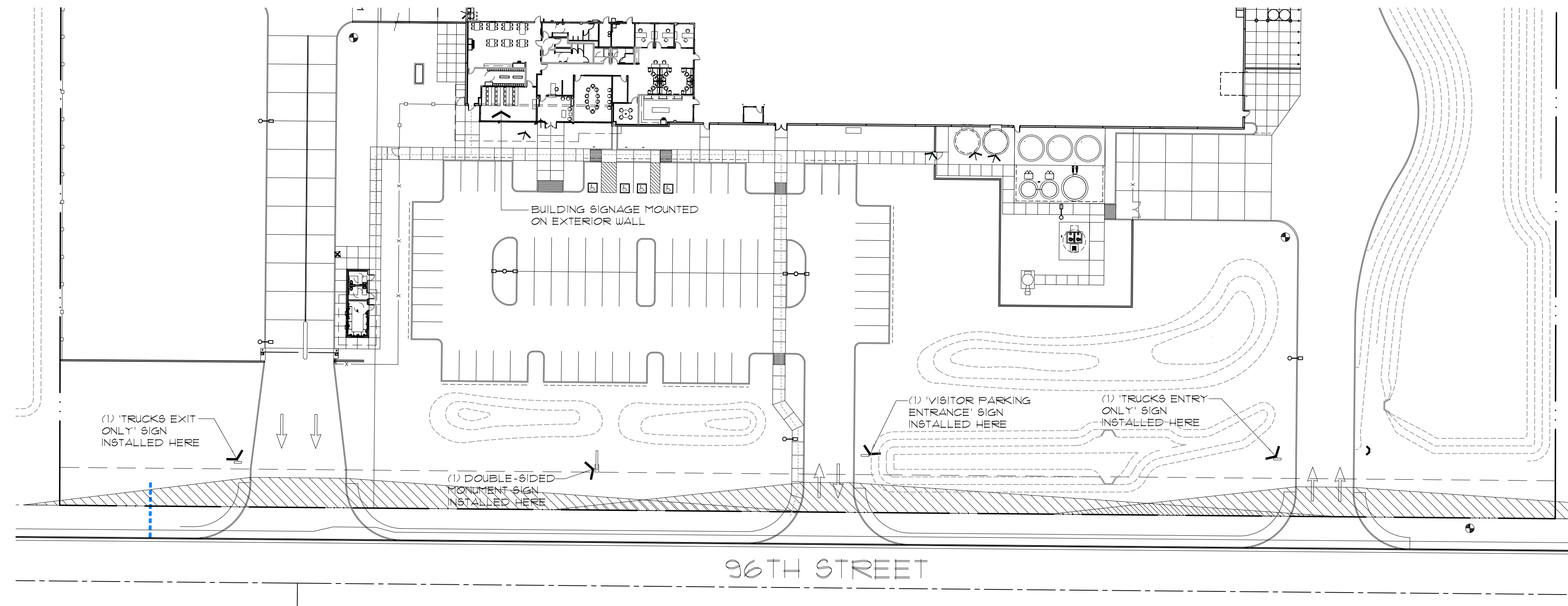
SINGLE SIDED DIRECTIONAL SIGN WITH WHITE REFLECTIVE VINYL



SINGLE SIDED DIRECTIONAL SIGN WITH WHITE REFLECTIVE VINYL

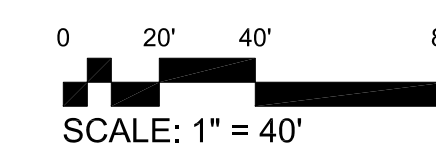


ONE (1) SET OF MINIMUM 3" DEEP INTERNALLY ILLUMINATED LETTERS WATER DROP IS FACE LIGHTED

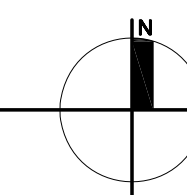


SITE SIGNAGE PLAN

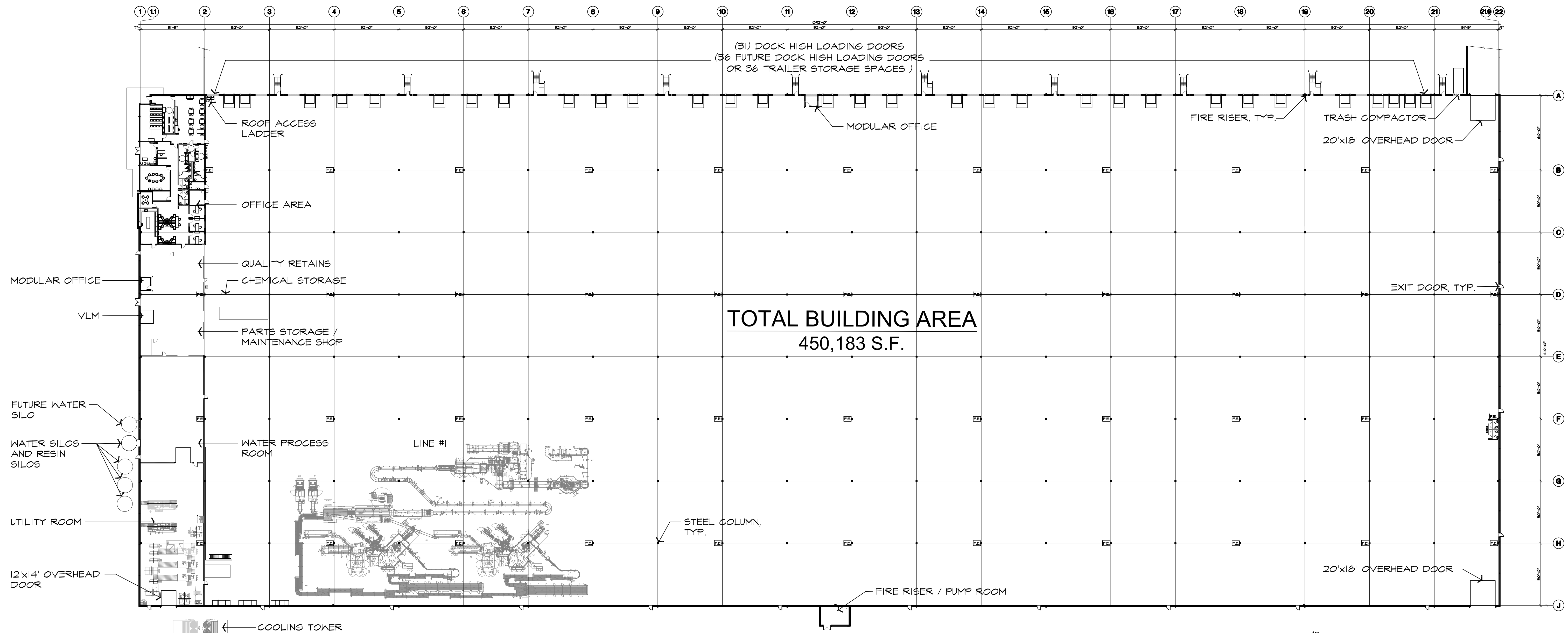
SCALE: 1" = 40'-0"



SCALE: 1" = 40'



PROJECT TL
 MESA, AZ



FLOOR PLAN
SCALE: 1" = 40'-0"

0 20' 40' 80'

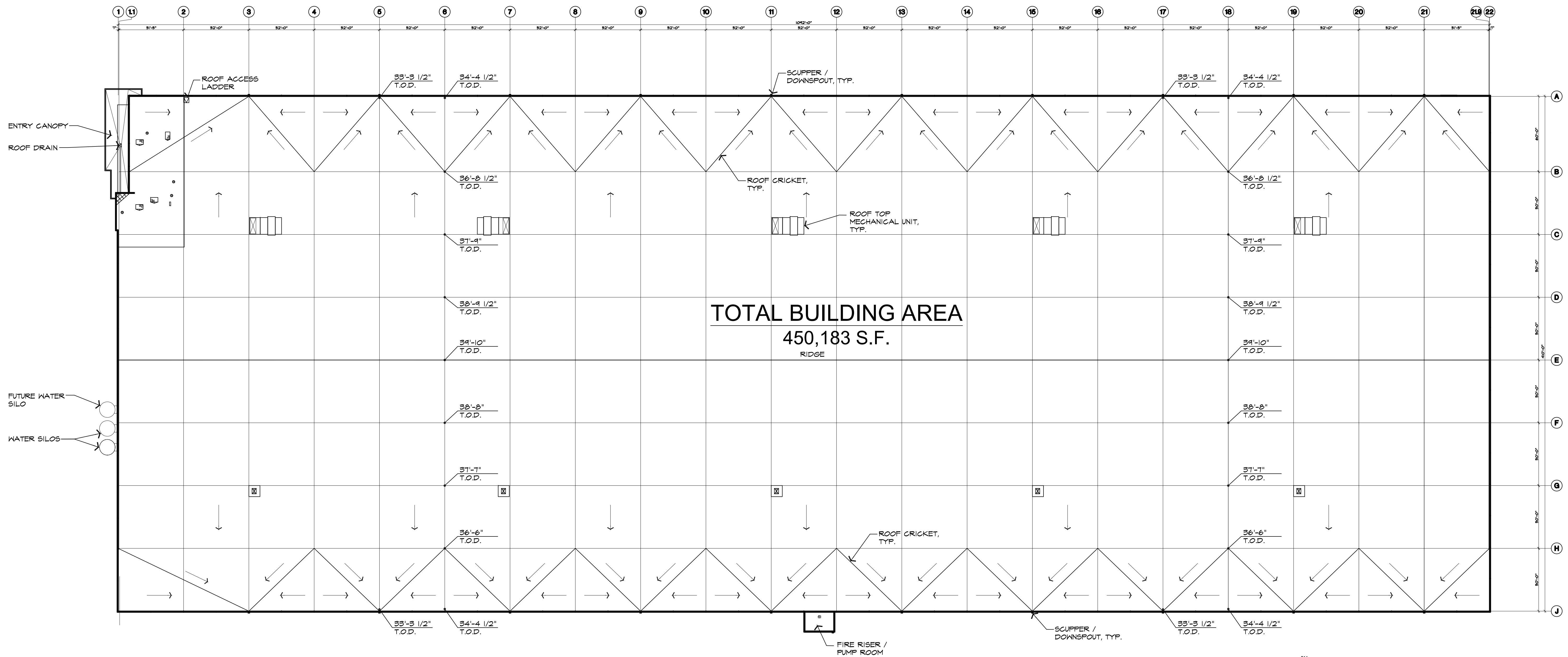
SCALE: 1" = 40'

PROJECT TL

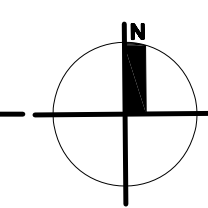
MESA, AZ



04-24-2017
16093_FLOOR PLAN

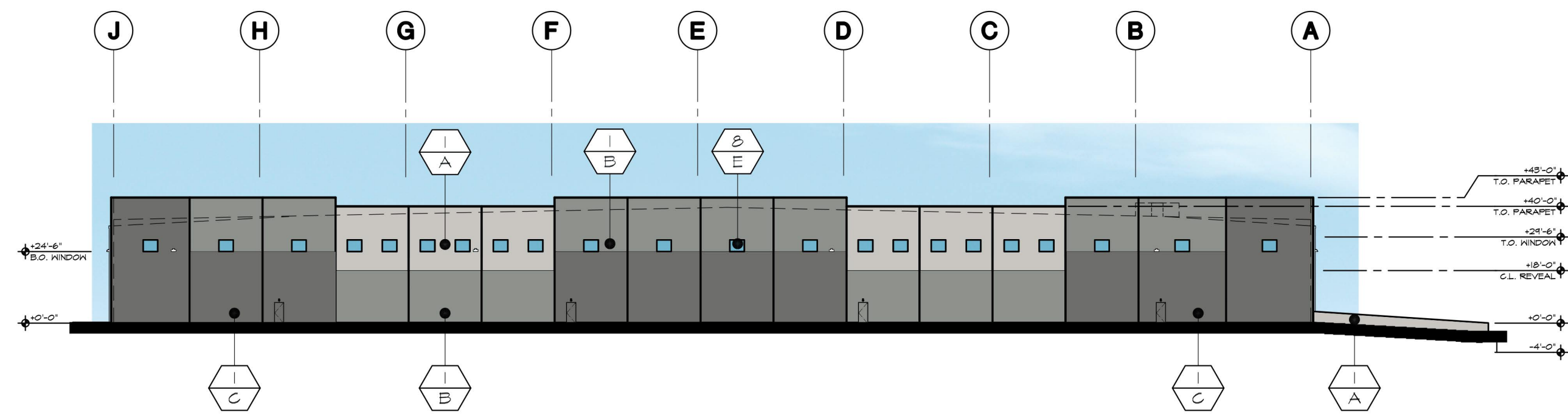


ROOF PLAN
 SCALE: 1" = 40'-0"
 0 20' 40' 80'
 SCALE: 1" = 40'



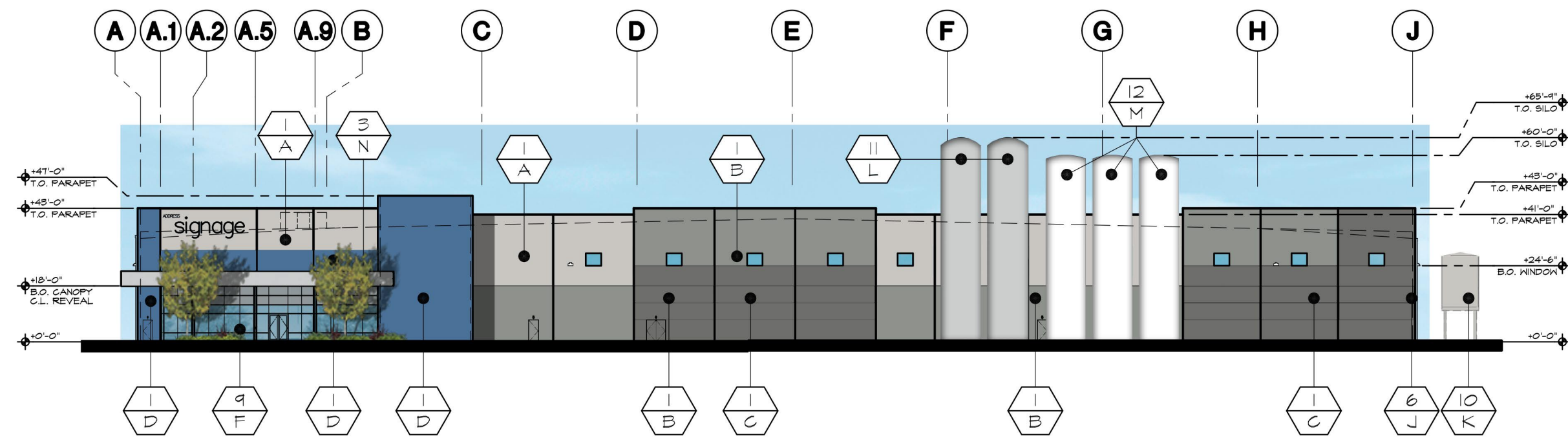
PROJECT TL
MESA, AZ





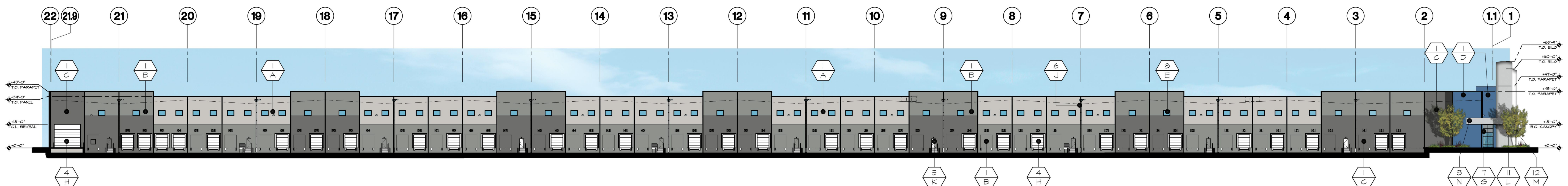
EAST ELEVATION

0 20' 40' 80'
SCALE: 1" = 40'



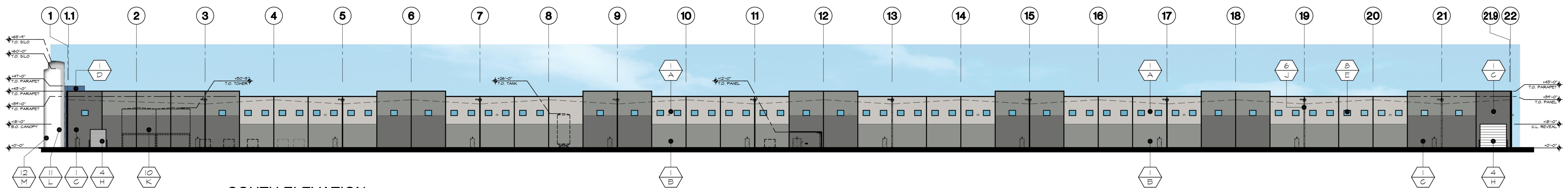
WEST ELEVATION

0 20' 40' 80'
SCALE: 1" = 40'



NORTH ELEVATION

0 20' 40' 80'
SCALE: 1" = 40'



SOUTH ELEVATION

0 20' 40' 80'
SCALE: 1" = 40'

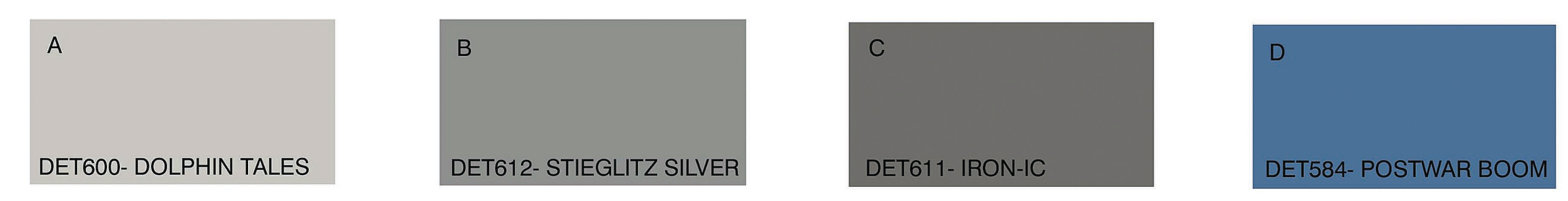


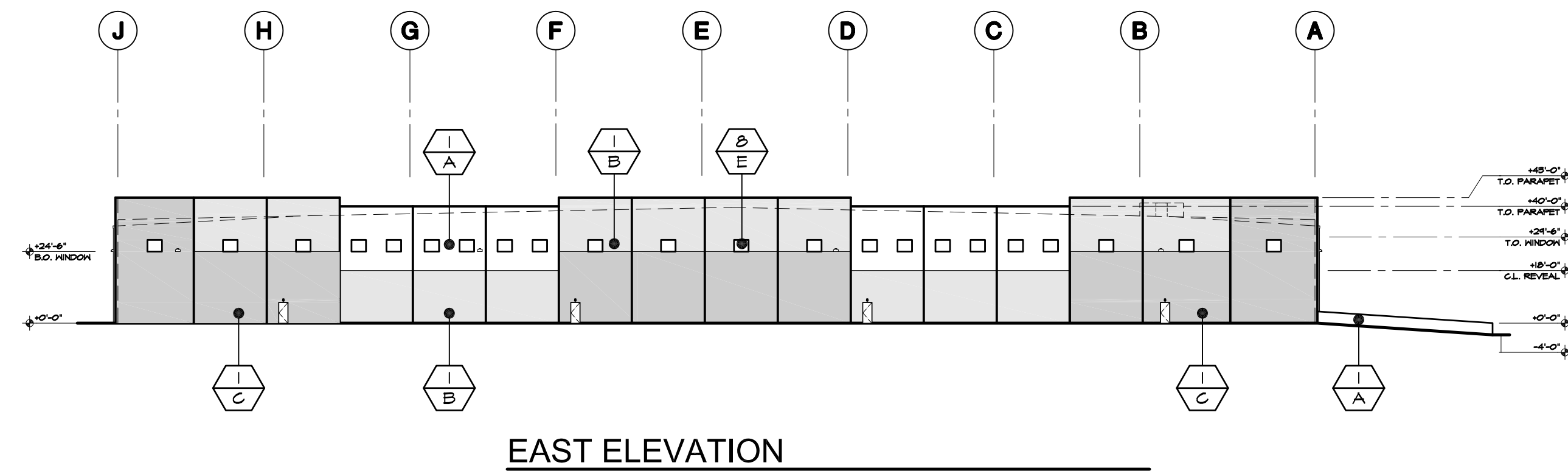
MATERIAL		FINISH/ COLOR			
SYMBOL	MATERIAL	SYMBOL	COLOR NAME	NUMBER	MANUFACTURER
1	CONCRETE PANEL	A	DOLPHIN TALES	DET600	DUNN EDWARDS
2	STUCCO OVER METAL FRAMING	B	STIEGLITZ SILVER	DET612	DUNN EDWARDS
3	ALUMINUM COMPOSITE PANEL OVER METAL FRAMING	C	IRON-IC	DET611	DUNN EDWARDS
4	OVERHEAD DOCK DOORS	D	POSTWAR BOOM	DET584	DUNN EDWARDS
5	STAIRS WITH TUBE STEEL RAILING	E	AZURIA + CLEAR		SOLARBAN
6	SCUPPER AND DOWNSPOUTS	F	AZURIA + SPANDREL		SOLARBAN
7	ALUMINUM WINDOW SYSTEM	G	CLEAR ANODIZED		
8	VISION GLAZING	H	FACTORY WHITE FINISH		OVERHEAD DOOR
9	SPANDREL GLAZING	J	STONE WHITE	FACTORY FINISH	FIRESTONE
10	FACTORY METAL	K	GALVANIZED FINISH		
11	STAINLESS STEEL WATER SILO	L	STAINLESS STEEL		--
12	STEEL RESIN SILO	M	FACTORY FINISH		
13	STUCCO	N	SILVER METALIC		LAMINATER
14	METAL FLASHING				



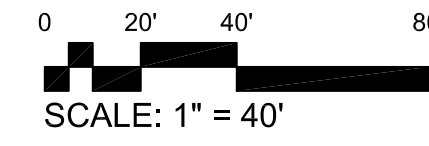
ENLARGED WEST ELEVATION

MATERIAL		FINISH/ COLOR			
SYMBOL		SYMBOL	COLOR NAME	NUMBER	MANUFACTURER
1	CONCRETE PANEL	A	DOLPHIN TALES	DET600	DUNN EDWARDS
2	STUCCO OVER METAL FRAMING	B	STIEGLITZ SILVER	DET612	DUNN EDWARDS
3	ALUMINUM COMPOSITE PANEL OVER METAL FRAMING	C	IRON-IC	DET611	DUNN EDWARDS
4	OVERHEAD DOCK DOORS	D	POSTWAR BOOM	DET584	DUNN EDWARDS
5	STAIRS WITH TUBE STEEL RAILING	E	AZURIA + CLEAR		SOLARBAN
6	SCUPPER AND DOWNSPOUTS	F	AZURIA + SPANDREL		SOLARBAN
7	ALUMINUM WINDOW SYSTEM	G	CLEAR ANODIZED		
8	VISION GLAZING	H	FACTORY WHITE FINISH		OVERHEAD DOOR
9	SPANDREL GLAZING	J	STONE WHITE	FACTORY FINISH	FIRESTONE
10	FACTORY METAL	K	GALVANIZED FINISH		
11	STAINLESS STEEL WATER SILO	L	STAINLESS STEEL		--
13	STUCCO	M	FACTORY FINISH		
14	METAL FLASHING	N	SILVER METALIC		LAMINATER

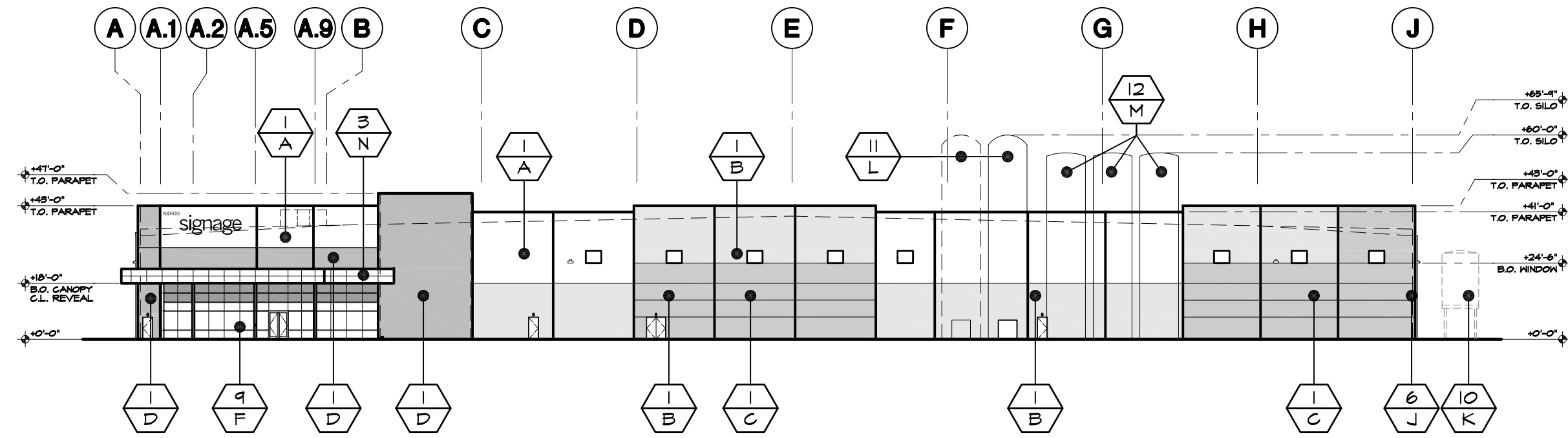




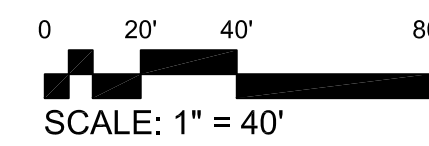
EAST ELEVATION



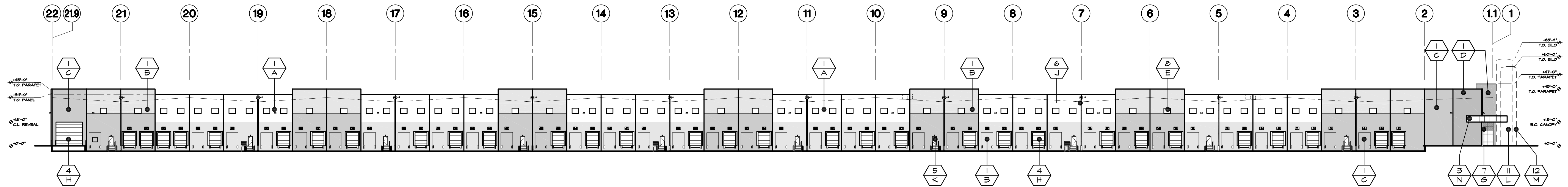
SCALE: 1" = 40'



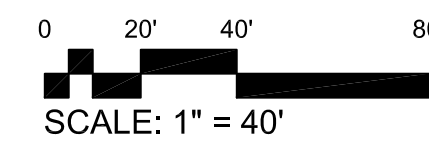
WEST ELEVATION



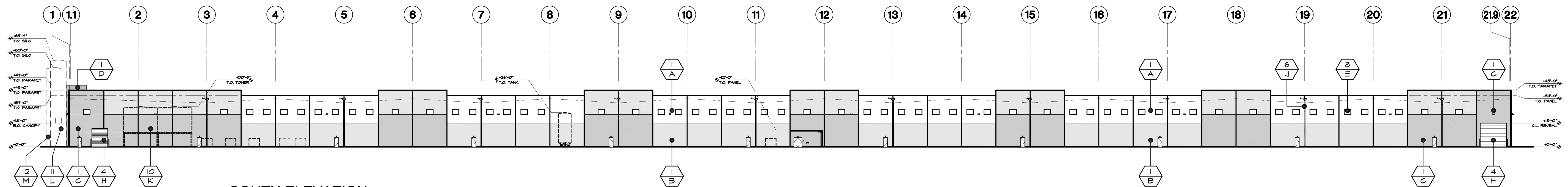
SCALE: 1" = 40'



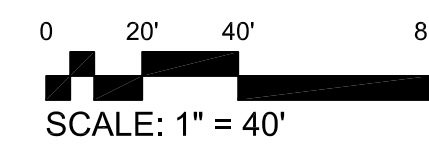
NORTH ELEVATION



SCALE: 1" = 40'

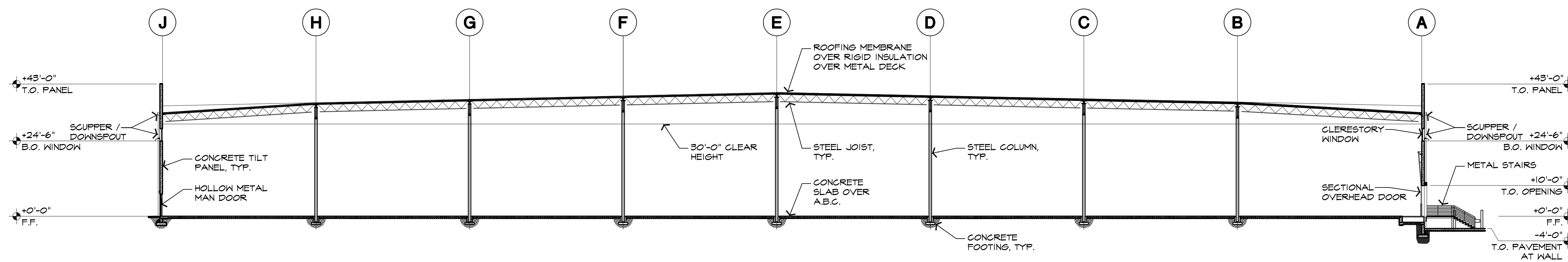


SOUTH ELEVATION



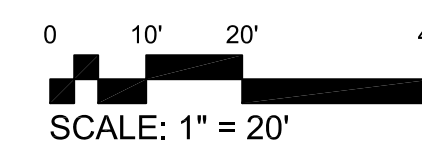
SCALE: 1" = 40'

MATERIAL		FINISH/ COLOR			
SYMBOL	MATERIAL	SYMBOL	COLOR NAME	NUMBER	MANUFACTURER
1	CONCRETE PANEL	A	DOLPHIN TALES	DET600	DUNN EDWARDS
2	STUCCO OVER METAL FRAMING	B	STIEGLITZ SILVER	DET612	DUNN EDWARDS
3	ALUMINUM COMPOSITE PANEL OVER METAL FRAMING	C	IRON-IC	DET611	DUNN EDWARDS
4	OVERHEAD DOCK DOORS	D	POSTWAR BOOM	DET584	DUNN EDWARDS
5	STAIRS WITH TUBE STEEL RAILING	E	AZURIA + CLEAR		SOLARBAN
6	SCUPPER AND DOWNSPOUTS	F	AZURIA + SPANDREL		SOLARBAN
7	ALUMINUM WINDOW SYSTEM	G	CLEAR ANODIZED		
8	VISION GLAZING	H	FACTORY WHITE FINISH		OVERHEAD DOOR
9	SPANDREL GLAZING	J	STONE WHITE	FACTORY FINISH	FIRESTONE
10	FACTORY METAL	K	GALVANIZED FINISH		
11	STAINLESS STEEL WATER SILO	L	STAINLESS STEEL		--
12	STEEL RESIN SILO	M	FACTORY FINISH		
13	STUCCO	N	SILVER METALIC		LAMINATER
14	METAL FLASHING				



BUILDING SECTION

SCALE: 1" = 20'-0"



SCALE: 1" = 20'

PROJECT TL
MESA, AZ



04-24-2017
16093_BUILDING SECTION



Butler Design Group, Inc.
architects & planners



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